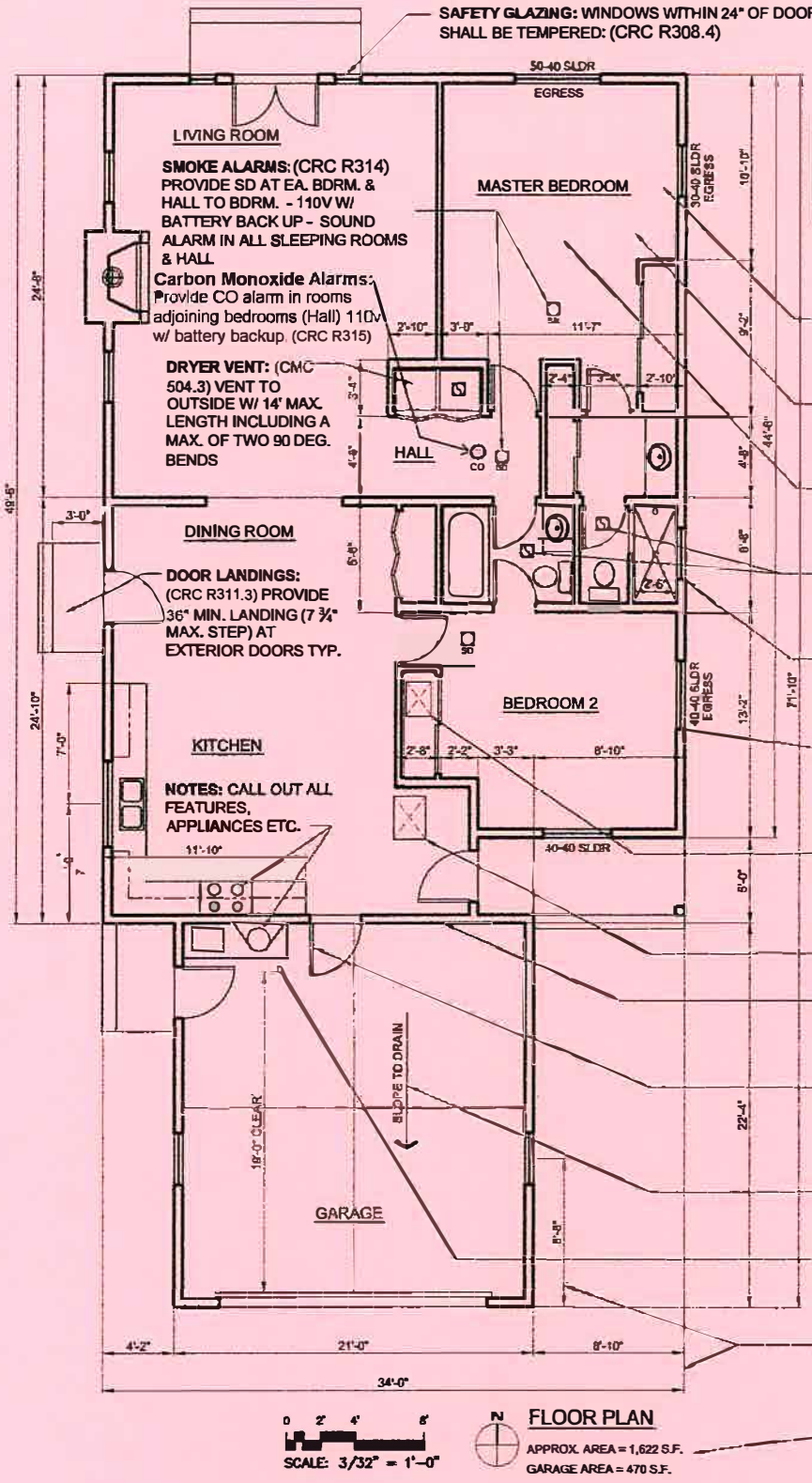


A2 - Sample Floor Plan



THIS DRAWING DEPICTS MINIMUM CODE REQUIREMENTS PER CRC INFORMATION IS FOR REFERENCE ONLY AND IS NOT A SUBSTITUTE FOR ACCURATE DRAWINGS PREPARED FOR EACH PROPOSED CONSTRUCTION PROJECT.

- LIGHT:** (CRC R303.1) PROVIDE NATURAL LIGHT OF 8% OF FLOOR AREA MIN. (OR SEE CODE FOR OPTIONAL LIGHTING PROVISIONS)
- VENTILATION:** (CRC R303.1X) PROVIDE NATURAL VENTILATION OF 4% OF FLOOR AREA MIN. (OR SEE CODE FOR OPTIONAL VENTILATION PROVISIONS)
- MIN. ROOM DIMENSION:** (CRC R304.1 & 3,4) PROVIDE AT LEAST ONE ROOM OF 120 SF AND ALL HABITABLE ROOMS WITH 70 SF MIN AND NO DIMENSION LESS THAN 7'.
- BATHROOM (AND LAUNDRY) VENTILATION:** (CMC 403.7 - TBL.4-4) & (CRC R303.3) PROVIDE NATURAL VENT 4% OF FLOOR AREA MIN. OR 50 CFM EXHAUST FAN, (25 CFM FOR CONTINUOUS OPERATION). ROOMS WITH BATH, SHOWER OR SPA REQUIRE EXHAUST FAN.
- SHOWER & TUB ENCLOSURES:** (CRC R307) PROVIDE NON-ABSORBENT SURFACE TO 72" ABOVE DRAIN. PROVIDE FIBER-CEMENT OR GLASS-MAT GYP. BD. BACKING. GLASS LESS THAN 60" ABOVE DRAIN SHALL BE TEMPERED.
- EGRESS WINDOWS:** (CRC R310) AT ALL BEDROOMS, PROVIDE (AND CALL OUT) ESCAPE WINDOWS OF 5.7 SF (5.0 SF FOR FIRST FLOOR WINDOWS) WITH 24" MIN HT. AND 20" MIN. WIDTH. SEE A6.
- UNDERFLOOR ACCESS:** (CRC R408.4) PROVIDE 18" X 24" UNOBSTRUCTED UNDERFLOOR ACCESS NOT MORE THAN 20' FROM UNDERFLOOR CLEANOUT PER CPC 707.10.
- ATTIC ACCESS:** (CRC R807) , CMC 904.11) ATTIC ACCESS SHALL NOT BE LESS THAN 20" X 30" (OR, WITH ATTIC MECH. EQUIP., 22" X 30" MIN. - OR LARGER TO FIT EQUIP. SIZE) w/ 30" vertical height or greater.
- GARAGE SEPARATION:** (CRC TR302.6) PROVIDE 1/2" GYP. BD. ON GARAGE WALL SEPARATION FROM HABITABLE SPACES. (FOR CEILING SEPARATION, PROVIDE 3/8" TYPE "X" GYP. BD.)
- GARAGE DOOR:** (CRC R302.5.1) PROVIDE A SELF-CLOSING, SELF-LATCHING, TIGHT-FITTING SOLID-WOOD (OR SOLID OR HONEYCOMB CORE STEEL) DOOR 1-3/8 INCH IN THICK BETWEEN GARAGE AND RESIDENCE (OR PROVIDE A 20 MIN. RATED, SELF-CLOSING DOOR
- GARAGE FLOOR:** (CRC R309.1) PROVIDE SLOPE TO DRAIN OR FRONT OPENING AND PROVIDE CONTROL JOINTS AS NECESSARY
- WH AND MECH. UNITS IN GARAGE:** (CMC 508.14) PROVIDE FOR GAS FUELED EQUIPMENT OR APPLIANCES TO BE ELEVATED 18" ABOVE FLOOR AND PROVIDED WITH A PROTECTIVE BARRIER, I.E. CONCRETE FILLED STEEL BOLLARDS. SEE A6 FOR STRAPPING.
- PLAN DIMENSION:** PROVIDE COMPLETE DIMENSIONS (TYPICALLY TO EXTERIOR FACE OF STUDS) DEFINING THE OVERALL BUILDING AND ALL INTERIOR WALL LOCATIONS AND KEY FEATURES SUCH AS WINDOW, DOORS AND BUILT-IN FEATURES.
- PLAN AREAS:** PROVIDE A COMPLETE SUMMARY OF BUILDING AREAS (TO EXTERIOR FACE OF STUDS) INCLUDING ALL HABITABLE, NON-CONDITIONED, PORCHES AND ADDITIONS IF APPLICABLE.

FLOOR PLAN
 APPROX. AREA = 1,622 S.F.
 GARAGE AREA = 470 S.F.

Provide consistent Title Block on all sheets. Leave margin on all sides.

This scale is for example only. Use 1/8" or 1/4" = 1'-0". Typical min. sheet size is 11" x 17"

NAME, ADDRESS AND PHONE NO. OF DESIGNER XXX XXX XXX XXX XXX XXX XXX XXX	EXAMPLE RESIDENCE	FLOOR PLAN SAMPLE DRAWING	SCALE: 3/32" = 1'-0" DATE:
WET SIGNATURE OF DESIGNER ON EACH SHEET (AND PROFESSIONAL STAMP IF APPLICABLE)			SHEET NO. A2