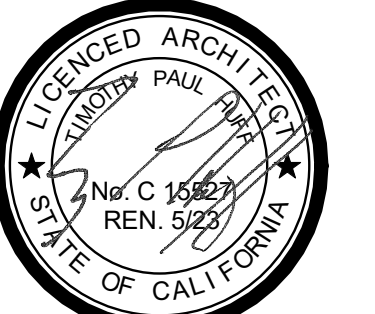


# 260 SF STUDIO ACCESSORY DWELLING UNIT

FOR USE ONLY IN STANISLAUS COUNTY AND  
WITHIN THE JURISDICTIONS NOTED BELOW:



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ABV	ABOVE	LTWT	LIGHT WEIGHT
AFF	ABOVE FINISH FLOOR	L	LONGLENGTH
ACC	ACCESSIBLE	LV	LOUVER VENT
ACOUS	ACOUSTICAL	MB	MACHINE BOLT
ADJ	ADJUSTABLE	MH	MANHOLE
AC	AIR CONDITIONING		MANUFACTURER
ALT	ALTERNATE	MAS	MASONRY
ALUM	ALUMINUM	MAX	MAXIMUM
AB	ANCHOR BOLT	MECH	MECHANICAL
ANOD	ANODIZED		METAL
ARCH	ARCHITECT(URAL)	MIN	MINIMUM
AC	ASPHALT CONCRETE	MISC	MISCELLANEOUS
APL	ASSUMED PROPERTY LINE	MTD	MOUNTED
AUTO	AUTOMATIC	(N)	NEW
BM	BEAM	NRC	NOISE REDUCTION COEFF.
BET	BETWEEN	NOM	NOMINAL
BLK	BLOCK	N	NORTH
BLKG	BLOCKING	NIC	NOT IN CONTRACT
BD	BOARD	NTS	NOT TO SCALE
BOT	BOTTOM	NO#	NUMBER
BOB	BOTTOM OF BEAM	OC	ON CENTER
BLDG	BUILDING	OPNG	OPENING
CIP	CAST IN PLACE	OD	OUTSIDE DIAMETER
CB	CATCH BASIN	O'	OVER
CLKG	CAULKING	OFOI	OWNER FURNISHED OWNER INSTALLED
CLG	CEILING		
CJ	CEILING JOIST / CONTROL JOINT	OFCI	OWNER FURNISHED CONTRACTOR INSTALLED
CEM	CEMENT	FR	PAIR
CL	CHAIN LINK	PTD	PAPER TOWEL DISPENSER
CO	CLEAN OUT	d	PENNY
CLR	CLEAR(ANCE)	PERF	PERFORATED
COL	COLUMN		PLASTER
COMB	COMBINATION	PLYWD	PLYWOOD
CONC	CONCRETE	PT	POINT
CMU	CONCRETE MASONRY UNIT	POC	POINT OF CONNECTION
CONST	CONSTRUCTION	PVC	POLYVINYL CHLORIDE
CONT	CONTINUOUS	PSI	POUNDS PER SQ. INCH
CTSK	COUNTER SINK	PSF	POUNDS PER SQ. FT.
CP	DEEP	PREFAB	PREFABRICATED
D	DEEP (DEPTH)	P.T.	PRESSURE TREATED
DEPT	DEPARTMENT	PTDF	PRESSURE TREATED DOUG. FIR
DTL	DETAIL	PROJ	PROJECT
DIAG	DIAGONAL	P.L.	PROPERTY LINE
DIA	DIAMETER	RAD	RADIUS
DIM	DIMENSION	REF	REFERENCE
DISP	DISPENSER	REFL	REFLECTED
DR	DOOR	REFR	REFRIDGERATOR
DBL	DOUBLE	REINF	REINFORCE(ING)
DF	DOUGLAS FIR	REQ	REQUIRED
DN	DOWN	RA	RETURN AIR
DS	DOWN SPOUT	REV	REVISION(S)/REVISED
DWG	DRAWING	ROW	RIGHT OF WAY
DF	DRINKING FOUNTAIN	R	RISER/RADIUS
EA	EACH	RD	ROOF DRAIN
EW	EACH WAY	RM	ROOM
E	EAST	RO	ROUGH OPENING
EW	ELECT. WATER COOLER	RB	RUBBER BASE
ELEC	ELECTRIC(AL)	SECT	SECTION
ELEV	ELEVATION	SHTG	SHEATHING
EMER	EMERGENCY	SHT	SHEET
ENCL	ENCLOSURE	SM	SHEET METAL
EQ	EQUAL	SIM	SIMILAR
EXH	EXHAUST	SD	SOAP DISPENSER
	EXISTING	SC	SOLID CORE
EJ	EXPANSION JOINT	STC	SOUND TRANSMISSION COEFF.
EXP	EXPOSED/EXPANSION	S	SOUTH
EXT	EXTERIOR	SPEC	SPECIFICATION
FOC	FACE OF CONCRETE	SQ	SQUARE
FOF	FACE OF FINISH	SF	SQUARE FOOT
FOM	FACE OF MASONRY	SS	STAINLESS STEEL
FOS	FACE OF STUD/STRUCTURE	STD	STANDARD
FIN	FINISH	STL	STEEL
FF	FINISH FLOOR	STOR	STORAGE
FA	FIRE ALARM	STRUCT	STRUCTURE
FE	FIRE EXTINGUISHER	S4S	SURFACE FOUR SIDES
FEC	FIRE EXTINGUISHER CABINET	SUSP	SUSPENDED
FH	FIRE HYDRANT	SAT	SUSPENDED ACOUSTICAL TILE
FLASH	FLASHING	SYM	SYMBOL/SYMMETRICAL
FLR	FLOOR	TB	TACKBOARD
FT	FOOT / FEET	TEL	TELEPHONE
FTG	FOOTING	TV	TELEVISION
FDN	FOUNDATION	THK	THICK
GA	GAGE / GAUGE	THRES	THRESHOLD
GI	GALVANIZED IRON	T&G	TONGUE & GROOVE
GL	GLASS / GLAZING	TOB	TOP OF BEAM
GALV	GLAVANIZED	TOC	TOP OF CURB/CONCRETE
GLB	GLUE LAMINATED BEAM	TOP	TOP OF
GB	GRAB BAR		PLATE/PARAPET/PAVEMENT
GND	GROUND	TOS	TOP OF SHEATHING STEEL/SLAB
GYP	GYPSPUM	TOW	TOP OF WALK/WALL
GYPBD	GYPSPUM BOARD	T	TREAD
HDW	HARDWARE	TYP	TYPICAL
HDR	HEADER	UNO	UNLESS NOTED OTHERWISE
HVAC	HEATING/VENTILATING/AIR CONDITION	UR	URINAL
HT	HEIGHT	VERT	VERTICAL
H	HIGH	VCT	VINYL COMPOSITION TILE
HC	HOLLOW CORE	WSTC	WAINSCOT
HM	HOLLOW METAL	WC	WATER CLOSET
HSS	HOLLOW STRUCTURAL SECTION	WH	WATER HEATER
HORIZ	HORIZONTAL	WP	WATER PROOFING
HB	HOSE BIB	WR	WATER RESISTANCE
HR	HOUR	WT	WEIGHT
IN	INCH	WWF	WELDED WIRE FABRIC
ID	INSIDE DIAMETER	W	WEST/WIDTHWIDE
INSUL	INSULATION	WDW	WINDOW
INT	INTERIOR	W	WITH
LAB	LABORATORY	W/O	WITHOUT
LAM	LAMINATE(D)	WD	WOOD
LAV	LAVATORY	WWM	WOVEN WIRE MESH
LT	LIGHT	WI	WROUGHT IRON

ALL WORK SHALL COMPLY WITH APPLICABLE CODES AND STANDARDS

**APPLICABLE CODES - EFFECTIVE JANUARY 1, 2017**

TITLE 19 CCR	PUBLIC SAFETY, STATE FIRE MARSHAL REGULATIONS
TITLE 24 CCR	PART 1 - 2019 BUILDING STANDARDS ADMINISTRATIVE CODE
TITLE 24 CCR	PART 2 - 2019 CALIFORNIA BUILDING CODE, VOL. 1 & 2 (CBC) (2018 IBC, AS AMENDED BY CA)
TITLE 24 CCR	PART 2.5 - 2019 CALIFORNIA RESIDENTIAL CODE
TITLE 24 CCR	PART 3 - 2019 CALIFORNIA ELECTRICAL CODE (CEC) (2017 NEC, AS AMENDED BY CA)
TITLE 24 CCR	PART 4 - 2019 CALIFORNIA MECHANICAL CODE (CMC) (2018 IAPMO UMC, AS AMENDED BY CA)
TITLE 24 CCR	PART 5 - 2019 CALIFORNIA PLUMBING CODE (CPC) (2018 IAPMO UPC, AS AMENDED BY CA)
TITLE 24 CCR	PART 6 - 2019 CALIFORNIA ENERGY CODE
TITLE 24 CCR	PART 9 - 2019 CALIFORNIA FIRE CODE (CFC) (2018 IFC, AS AMENDED BY CA)
TITLE 24 CCR	PART 11 - 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE
TITLE 24 CCR	PART 12 - 2019 REFERENCED STANDARDS

**DEFERRED APPROVALS**

THE FOLLOWING ITEMS ARE TO BE DEFERRED. THE OWNER OR CONTRACTOR SHALL SUBMIT THE REQUIRED DOCUMENTS TO THE BUILDING DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION:

- FIRE SPRINKLER SYSTEM
  - FIRE SPRINKLER SYSTEM PLANS AND SPECIFICATIONS WILL BE SUBMITTED SEPERATELY TO THE BUILDING DEPARTMENT FOR REVIEW AND APPROVAL. INSTALLATION WILL BE IN ACCORDANCE WITH NFPA 13d, 2019 EDITION FOR RESIDENTIAL OCCUPANCY WITH CPC AMENDMENTS.
  - IN GENERAL, A FIRE SPRINKLER SYSTEM WILL BE REQUIRED FOR THE ADU WHEN THE EXISTING RESIDENCE ON THE PROPERTY IS PROVIDED WITH A FIRE SPRINKLER SYSTEM. CONFIRM REQUIREMENTS WITH THE AUTHORITY HAVING JURISDICTION.
- PHOTOVOLTAIC SYSTEM
  - PHOTOVOLTAIC SYSTEM PLANS AND SPECIFICATIONS WILL BE SUBMITTED SEPERATELY TO THE BUILDING DEPARTMENT FOR REVIEW AND APPROVAL. PERMIT SHALL BE OBTAINED PRIOR TO FRAME INSPECTION AND SHALL PASS FINAL INSPECTION AT THE SAME TIME THAT THE ADU PASSES FINAL INSPECTION.

CS	COVER SHEET
CG1.0	CALGREEN RESIDENTIAL MANDATORY MEASURES

**SHEETS - ARCHITECTURAL**

A1.1	FLOOR PLANS / ROOF PLAN - 260 SF STUDIO
A1.2	EXTERIOR ELEVATIONS - 260 SF STUDIO
A1.3	EXTERIOR ELEVATIONS - 260 SF STUDIO
A1.4	SCHEDULES AND INTERIOR ELEVATIONS - 260 SF STUDIO
A1.5	BUILDING AND WALL SECTIONS - 260 SF STUDIO
AD.1	DETAILS - 260 SF STUDIO
AD.2	DETAILS - 260 SF STUDIO

**SHEETS - STRUCTURAL**

S0.1	STRUCTURAL NOTES, ABBREVIATIONS, AND PROJECT RESTRICTIONS - 260 SF STUDIO
S0.2	TYPICAL CONCRETE & REINFORCEMENT DETAILS
S0.3	STRUCTURAL DETAILS - SHEARWALLS, DIAPHRAGMS & OTHER TYP. FRAMING - 260 SF STUDIO
S0.4	FASTENER SCHEDULE - 260 SF STUDIO
S1.1	FOUNDATION PLAN & FOUNDATION DETAILS - 260 SF STUDIO
S2.1	ROOF FRAMING PLANS - 260 SF STUDIO
S3.1	WALL FRAMING ELEVATIONS - 260 SF STUDIO
SD.1	2x10 ROOF FRAMING DETAILS - 260 SF STUDIO
SD.1A	TJI ROOF FRAMING DETAILS - 260 SF STUDIO

**SHEETS - MECHANICAL**

M0.0	MECHANICAL - LEGEND, NOTES, & SCHEDULES - 260 SF STUDIO
M2.1	MECHANICAL - FLOOR PLAN - 260 SF STUDIO
M5.1	MECHANICAL - DETAILS - 260 SF STUDIO
EN-1	ENERGY FORMS - TITLE-24 COMPLIANCE FORMS
EN-1.1	ENERGY FORMS - TITLE-24 COMPLIANCE FORMS

**SHEETS - PLUMBING**

P0.0	PLUMBING - LEGEND, NOTES, & SCHEDULES - 260 SF STUDIO
P2.1	PLUMBING - FLOOR PLAN - 260 SF STUDIO
P5.1	PLUMBING - DETAILS - 260 SF STUDIO

**SHEETS - ELECTRICAL**

E0.1	GENERAL NOTES, LEGEND, & ABBREVIATIONS
E0.2	260 SF STUDIO ELECTRICAL FLOOR PLANS

PROPERTY OWNER RESPONSIBILITIES / INFORMATION:

- THESE PLANS HAVE BEEN DESIGNED AND REVIEWED BY THE AUTHORITY HAVING JURISDICTION (AHJ) FOR COMPLIANCE WITH APPLICABLE BUILDING CODES. HOWEVER, IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO PROVIDE AND SUBMIT THE REQUIRED PROPERTY SPECIFIC INFORMATION AND SITE PLAN BASED ON THEIR SPECIFIC SITE. THE SITE PLAN SHALL BE SUBMITTED BY THE OWNER TO THE AHJ FOR REVIEW AND APPROVAL AS A CONDITION OF UTILIZING THESE PLANS AND SHALL INCLUDE A SCALED SITE PLAN WHICH INDICATES THE FOLLOWING MINIMUMS:
  - PROPERTY LINES (PROPERTY LINES SHALL BE IDENTIFIED AT FOUNDATION INSPECTION), YARDS, EASEMENTS, STREETS, EXISTING AND PROPOSED BUILDINGS AND SEPARATIONS FROM EXISTING STRUCTURES
  - MINIMUM ALLOWABLE SETBACKS FROM THE PROPERTY LINES FOR THE AHJ.
  - IDENTIFY THE POINTS OF CONNECTION FOR WATER, SEWER, GAS, AND ELECTRIC.
  - CONFIRM COMPLETE SITE PLAN REQUIREMENTS WITH THE APPROPRIATE AHJ.
- THE PROPERTY OWNER WILL BE REQUIRED TO CONFIRM WITH THE AHJ THAT THE PARCEL IN QUESTION CAN ACCOMMODATE THE PROPOSED ADU AND ALSO CONFIRM IF THERE ARE ANY SPECIFIC REQUIREMENTS SUCH AS BEING LOCATED IN A WILDLAND URBAN INTERFACE AREA, ETC. CONSTRUCTION DETAILS FOR COMPLIANCE WITH WUI STANDARDS ARE PROVIDED IN THE PLAN SET IF REQUIRED. SEE SHEET AD.1
- THIS ADU HAS NOT BEEN DESIGNED TO COMPLY WITH ACCESSIBILITY STANDARDS AS PRESCRIBED BY THE CALIFORNIA BUILDING CODE. HOWEVER, RECOMMENDATIONS FOR INCREASING THE FUNCTIONALITY (ADAPTABILITY) OF THE ADU FOR USE BY PERSONS WITH LIMITED MOBILITIES ARE PROVIDED IN THIS PLAN SET. SEE SHEET A1.1

**PROJECT OWNER RESPONSIBILITIES / INFORMATION**

OCCUPANCY TYPE:	R3
TYPE OF CONSTRUCTION:	VB
ALLOWABLE AREA:	UNLIMITED
FIRE SPRINKLERS:	SEE DEFERRED APPROVAL
<b>260 SF ADU</b>	
FIRST LEVEL AREA:	260.00 SF
TOTAL CONDITIONED AREA:	260.00 SF
COVERED PORCH AREA:	20.00 SF
COVERED PATIO AREA:	0.00 SF
TOTAL BUILDING FOOTPRINT AREA:	280.00 SF
<b>BUILDING HEIGHT:</b> ±11'	
FIRE SPRINKLERS REQUIRED:	<input type="checkbox"/> YES <input type="checkbox"/> NO
FIRE SPRINKLERS IN EXISTING RESIDENCE:	<input type="checkbox"/> YES <input type="checkbox"/> NO
VERY HIGH FIRE HAZARD SEVERITY ZONE:	<input type="checkbox"/> YES <input type="checkbox"/> NO

BY ACCEPTING THE PREAPPROVED PLANS ("PLANS"), OWNER AND HIS/HER/ITS TENANTS, OCCUPANTS, AND INVITEES SHALL INDEMNIFY, DEFEND AND HOLD HARMLESS STANISLAUS COUNTY, THE LOCAL AGENCY ISSUING THE PERMIT, THE DESIGN PROFESSIONALS WHO PREPARED THE PLANS, AND THEIR RESPECTIVE OFFICIALS, OFFICERS, DIRECTORS, EMPLOYEES AND AGENTS, FROM ANY AND ALL CLAIMS, COSTS, LOSS, DAMAGE OR INJURY ARISING OUT OF OR RELATING TO THE ACCEPTANCE OR USE OF THE PLANS.

**ABBREVIATIONS**

**APPLICABLE CODES**

**SHEET INDEX**

**CODE ANALYSIS / BUILDING INFO.**

**HOLD HARMLESS STATEMENT**

**260 SF STUDIO  
ACCESSORY DWELLING UNIT  
STANISLAUS COUNTY, CALIFORNIA**

COVER SHEET

No.	Description	Date

Project Number	2020
Date	JAN 2022
Drawn by	R/RM
Checked by	JM/JG

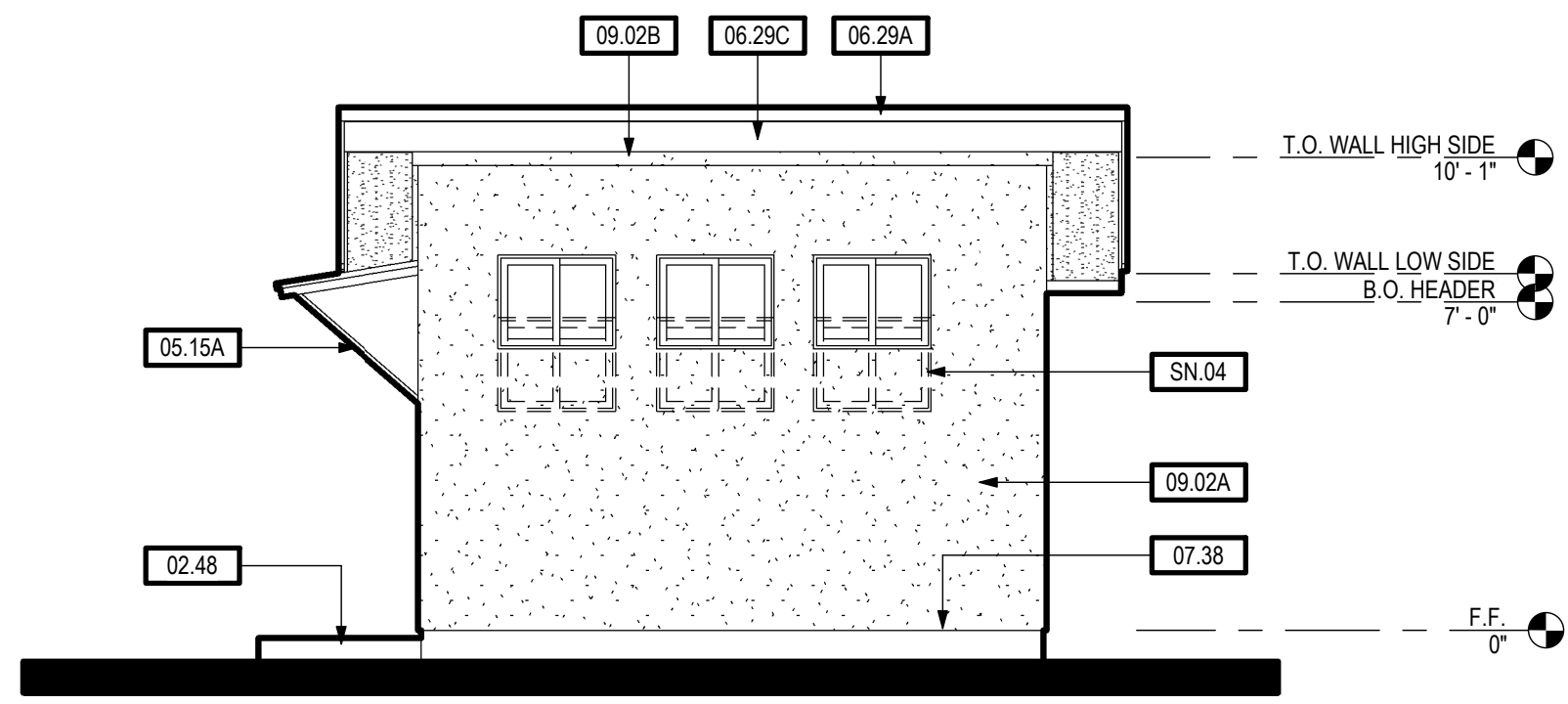
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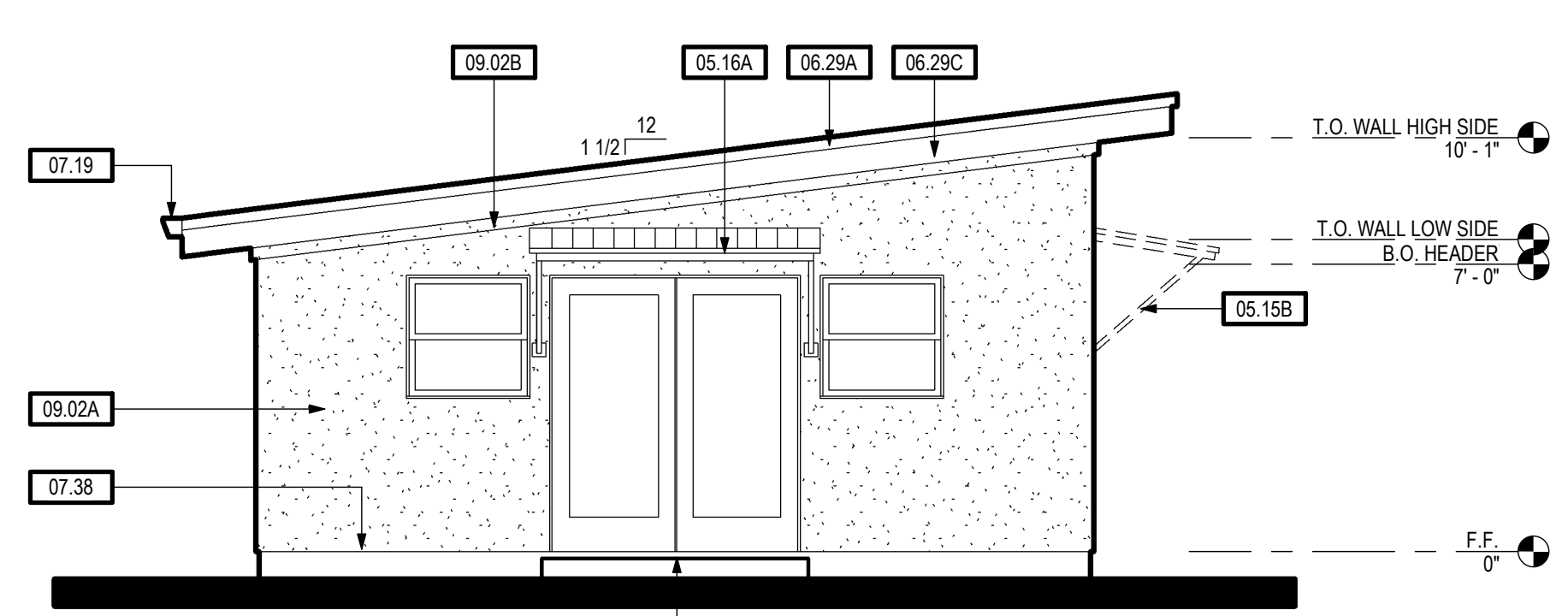
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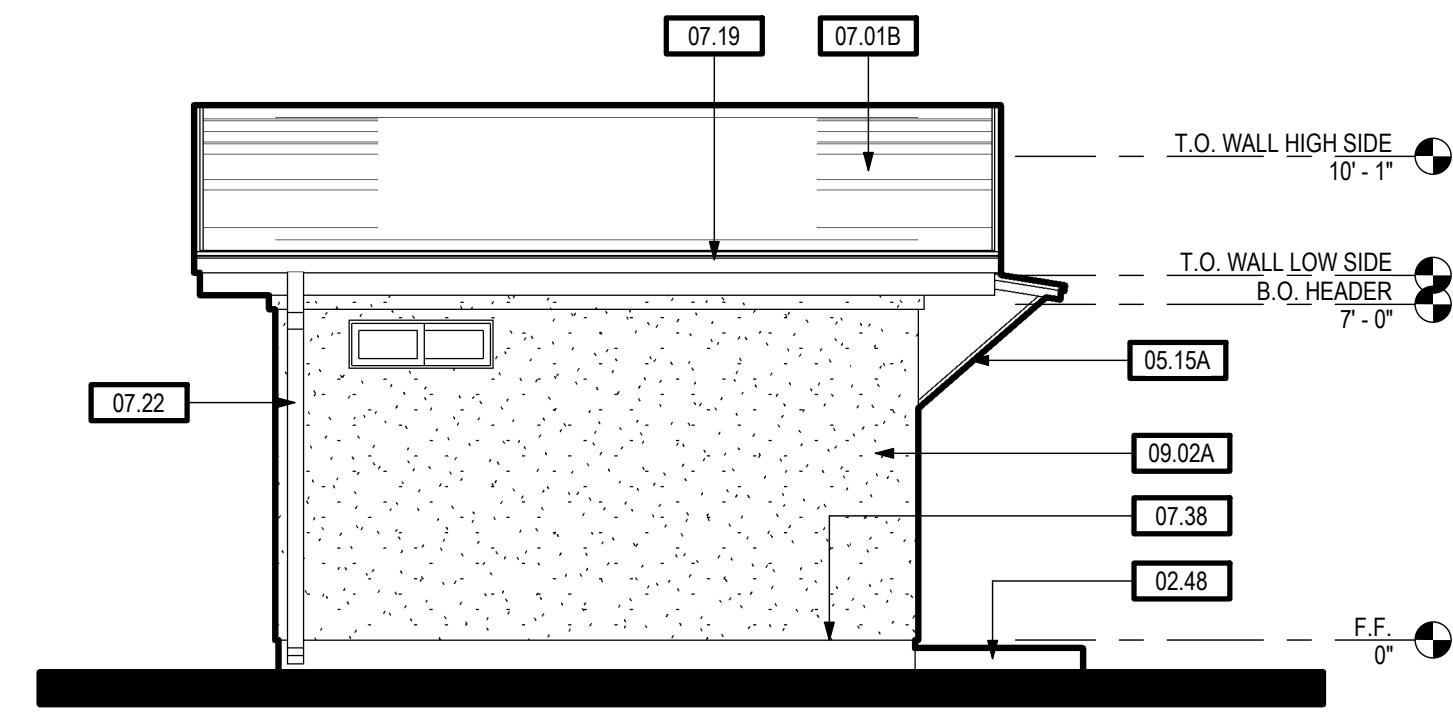




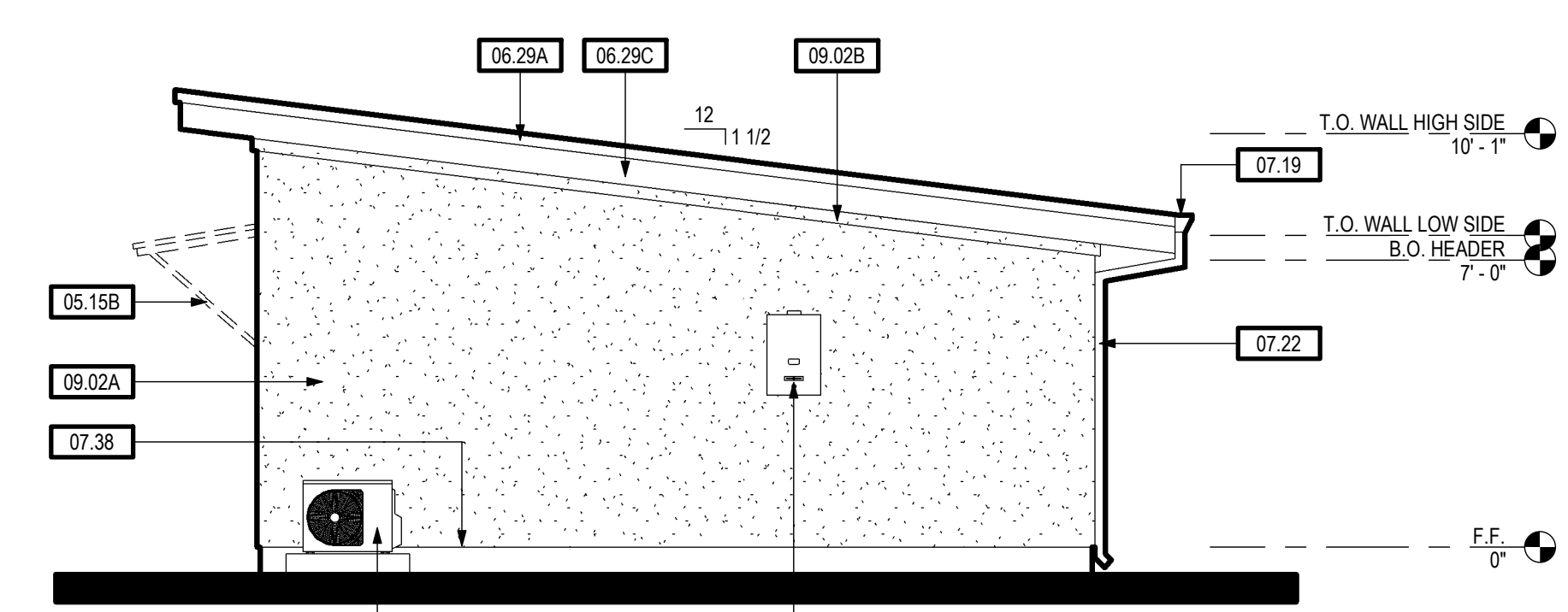
RIGHT SIDE (STUCCO) 260 SF 2



FRONT (STUCCO) 260 SF 1



LEFT SIDE (STUCCO) 260 SF 4

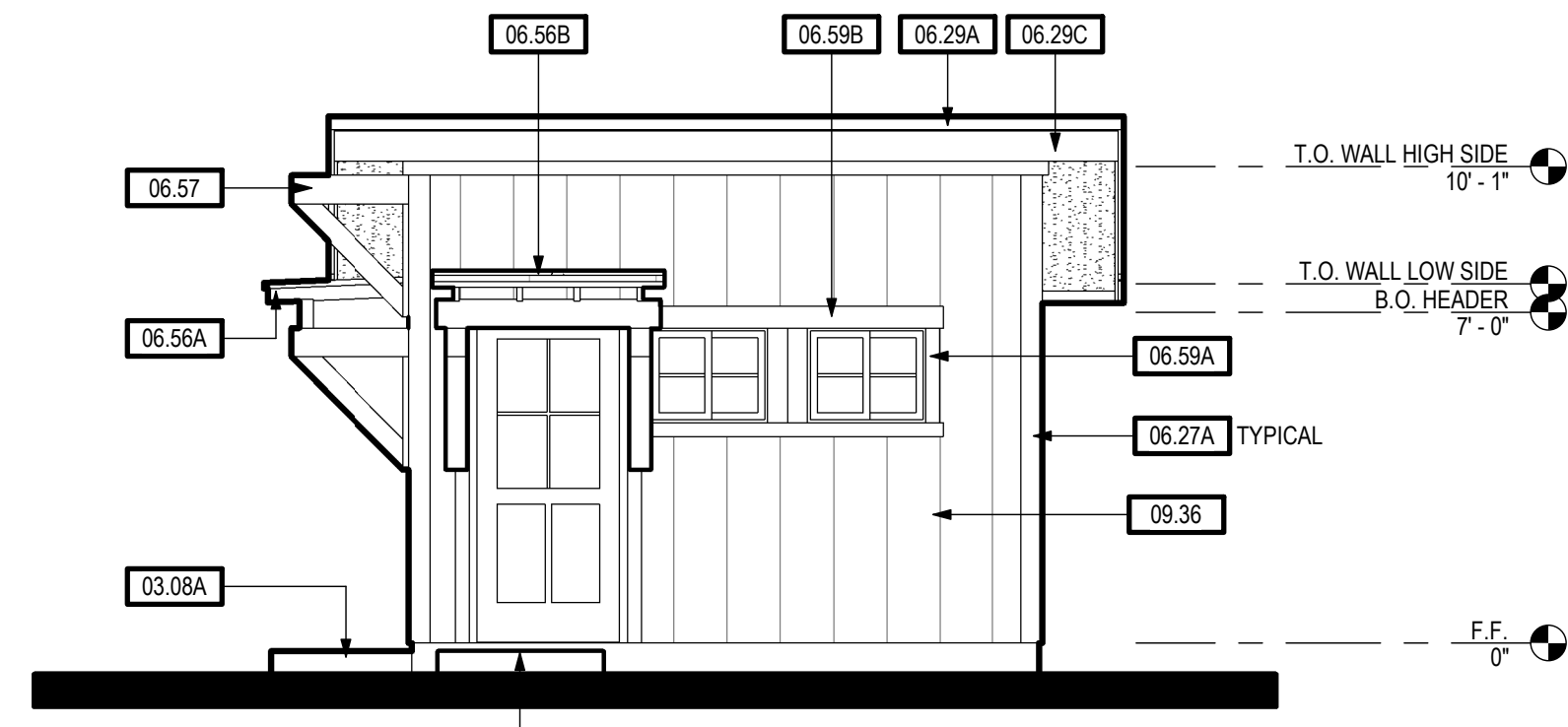


REAR (STUCCO) 260 SF 3

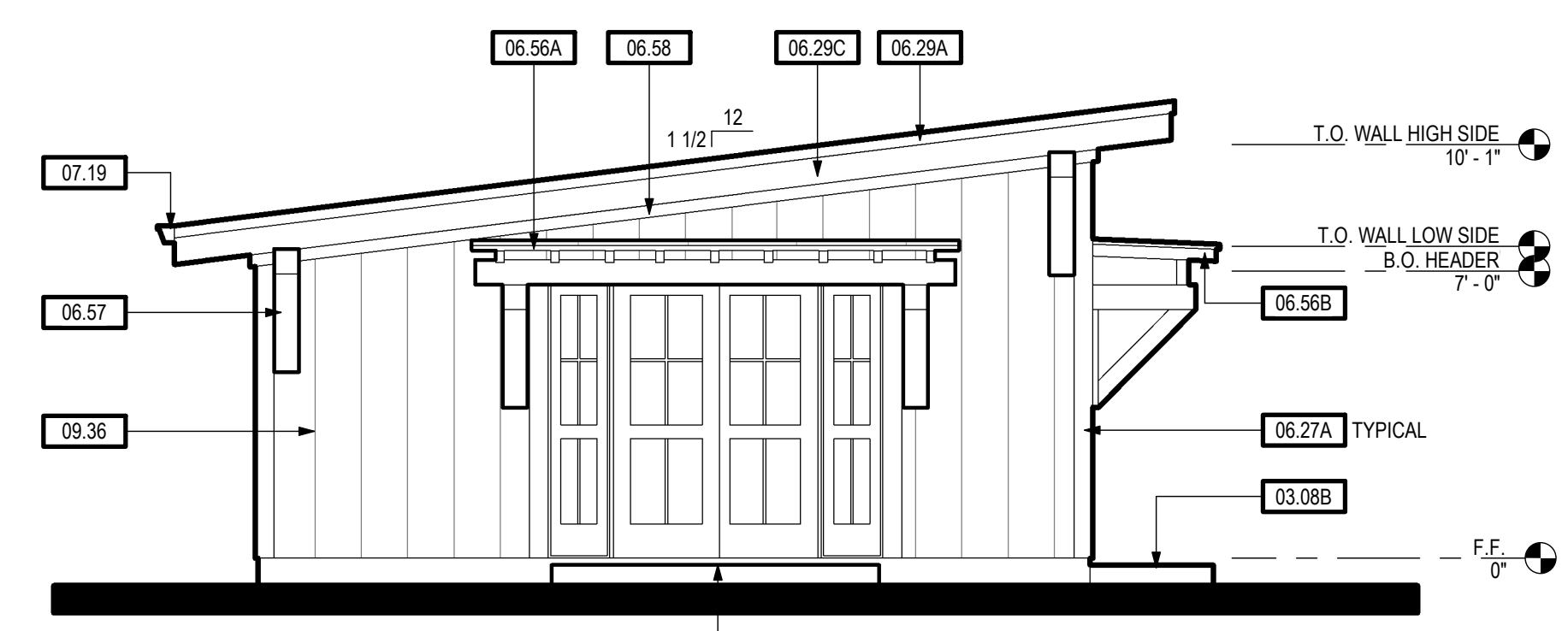
**NOTE:**  
STUCCO OPTION MAY NOT BE USED IF ADU IS SITED ON UPPER HALF OF HILL, RIDGE, OR ESCARPMENT.  
ELEVATION x TOPOGRAPHY FACTORS  $K_e \times K_z$  IS LIMITED TO 1.75 FOR STUCCO OPTION.

**EXTERIOR ELEVATIONS - 260 SF (STUCCO)**

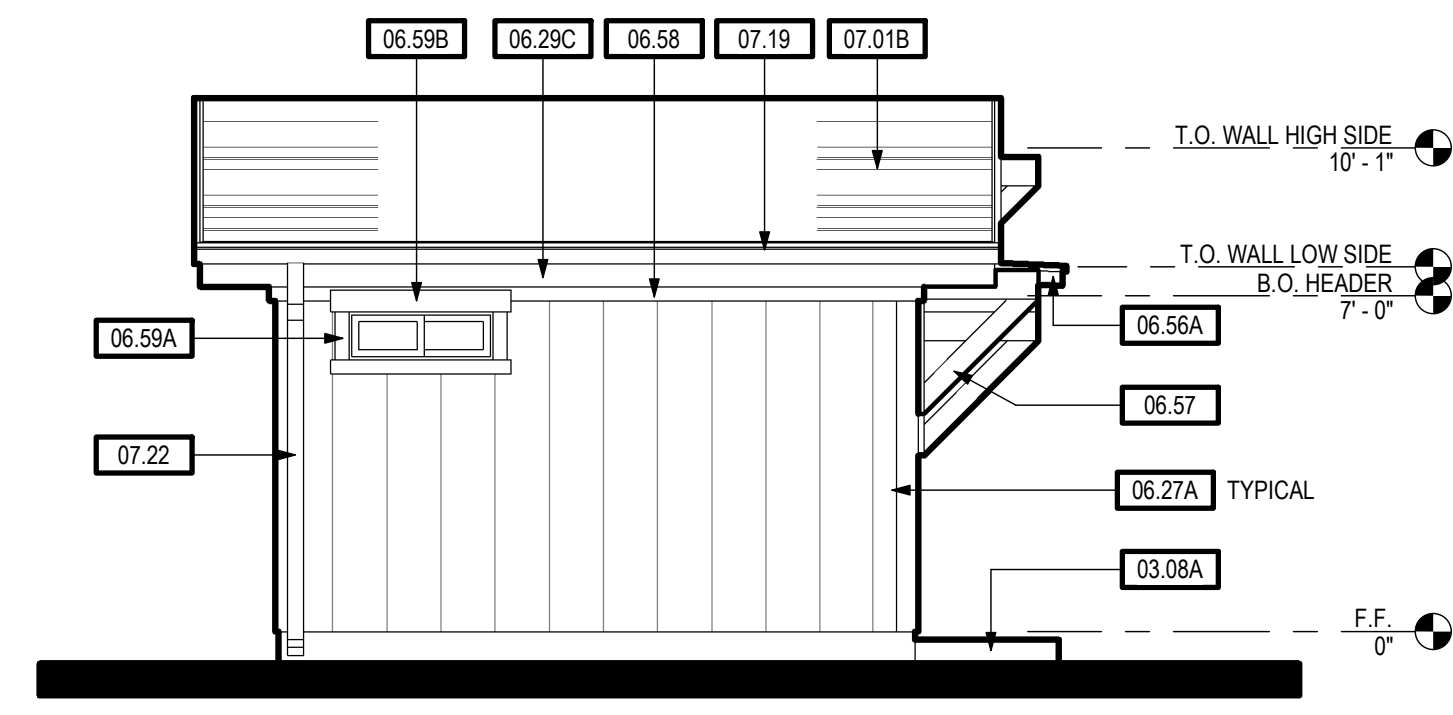
SCALE: 1/4" = 1'-0"



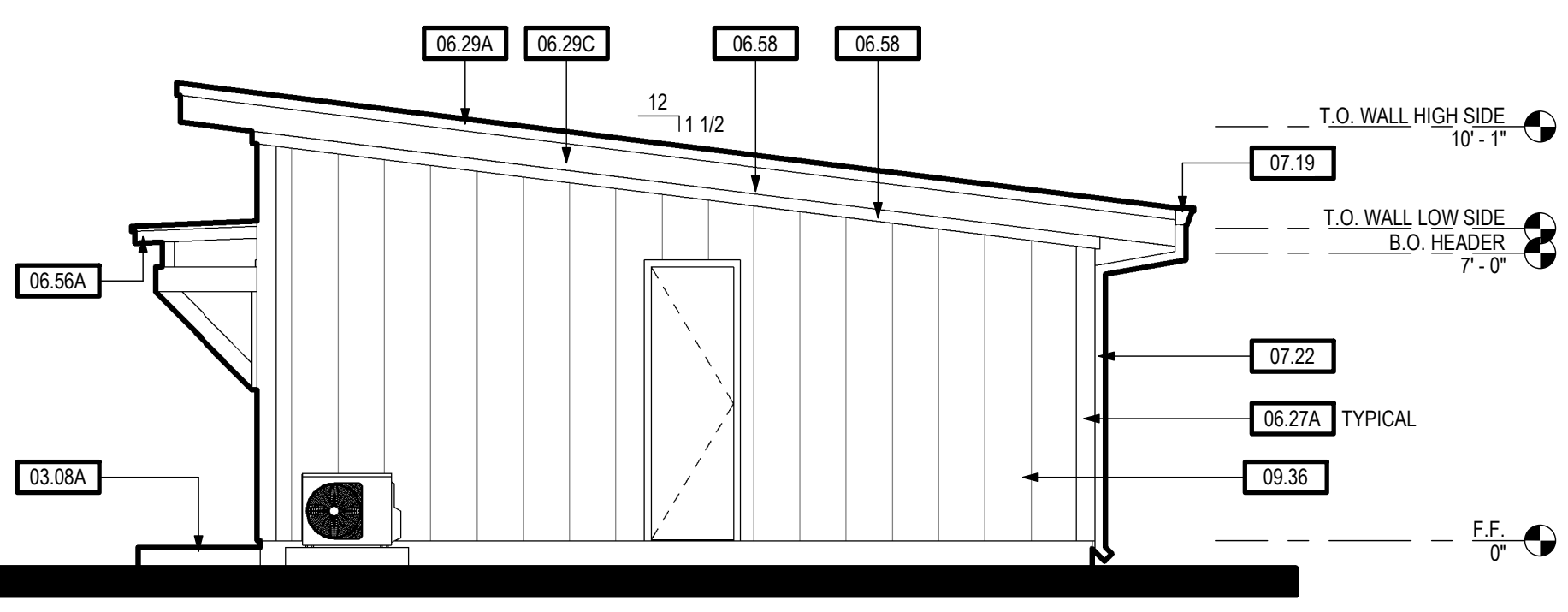
RIGHT (VERT. SIDING) 260 SF - OPTIONS 6



FRONT (VERT. SIDING) 260 SF - OPTIONS 5



LEFT (VERT. SIDING) 260 SF - OPTIONS 8



REAR (VERT. SIDING) 260 SF - OPTIONS 7

**EXTERIOR ELEVATIONS - 260 SF (VERT. SIDING) - OPTIONS**

SCALE: 1/4" = 1'-0"

**KEYNOTES**

02.48	CONCRETE FLATWORK (LANDING - 36" MIN. DEPTH)
03.08A	CONCRETE FLATWORK/LANDING
03.08B	CONCRETE FLATWORK/LANDING AT OPTIONAL EXTERIOR DOOR
05.15A	PREMANUFACTURED METAL ENTRY AWNING
05.15B	PREMANUFACTURED METAL AWNING AT EXTERIOR DOOR OPTION
05.16A	FIELD MANUFACTURED METAL ENTRY AWNING - SEE DETAIL 7/A1.5
06.27A	1X6 WOOD OR FIBER CEMENT (HARDIETRM) CORNER TRIM
06.29A	2X4 FASCIA BOARD
06.29C	1X12 WOOD OR HARDIETRM SUB-FASCIA
06.56A	ENTRY AWNING - SEE DETAIL 9/A.D.1
06.56B	ENTRY AWNING AT OPTION EXTERIOR DOOR - SEE DETAIL 9/A.D.1
06.57	CORNER CORBELS - SEE DETAIL 8/A.D.1
06.58	2X4 FRIEZE TRIM
06.59A	1X4 WOOD OR FIBER CEMENT (HARDIETRM) WINDOW JAMB AND SILL TRIM
06.59B	1X6 WOOD OR FIBER CEMENT (HARDIETRM) DOOR AND WINDOW HEAD TRIM
07.01B	ROOFING - BUILT-UP ROOFING, SINGLE-PLY OPTIONAL OR METAL APPROVED FOR LOW SLOPE CONDITION W/ MIN. UNDERLAYMENT PER MANUFACTURERS WRITTEN INSTRUCTIONS
07.19	GUTTER - GALV. OR PREFINISHED
07.22	DOWNSPOUT - GALV. OR PREFINISHED
07.38	G.I. STUCCO WEEP SCREED - PLACE MIN. 4" ABOVE GRADE AND MIN. 2" ABOVE CONCRETE FLATWORK/WALKWAYS
09.02A	EXTERIOR WALL FINISH - 7/8" 3-COAT CEMENT PLASTER WALL FINISH OVER (2) LAYERS OF GRADE 'D' BUILDING PAPER
09.02B	2X4 STUCCO OVER FOAM OR WOOD FRIEZE TRIM
09.36	VERTICAL WALL FINISH - WOOD OR HARDIETRM
22.21	PLUMBING FIXTURE - TANKLESS GAS WATER HEATER - APPROVED FOR EXTERIOR USE - SEE PLUMBING DRAWINGS
23.14	HVAC EQUIPMENT - MINI-SPLIT CONDENSING UNIT - SEE MECHANICAL DRAWINGS



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**SHEET NOTES**

SN.04 INDICATES OPTIONAL WINDOW HEIGHTS AT +80" AFF

**260 SF STUDIO  
ACCESSORY DWELLING UNIT  
STANISLAUS COUNTY, CALIFORNIA**

No.	Description	Date

Project Number 2020  
Date JAN 2022  
Drawn by RRM  
Checked by JMJ/JG

**A1.3**

Plot Date & Time 8/10/2022 4:31:56 PM

**NOTES**